

# Inspection Report

Provided By

**UNCOVER**  
BUILDING AND PEST INSPECTIONS

## Uncover Building and Pest Inspections

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### Inspection Address

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## Report Information

### Client Information

Client Name

### Inspection Information

Report/Agreement #      2208231207517  
 Agreement signed on:    18 Aug 2023  
 Inspection Date:          20 Dec 2022  
 Inspection Time:          11:54 am

### Handover Inspection

**The Scope of the Inspection:** This report Complies with Australian Standards AS 4349.0-2007. Inspection of Buildings Part 0: General Requirements.

Only the individual named at the front page of the report "Client" should rely on this report. If this report has been issued to you by a third party. You are not to rely on its findings or contents and seek to obtain your own independent pre purchase inspection report as this report or its contents is non transferable. The inspection WILL NOT report on items listed in Appendix "D" of AS4349.1.2007.

If the property is part of a Strata or Company Title , then Appendix "B" of the Australian Standards applies.

**Special Requirements:** Unless stated otherwise in the report It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

**Inspection Agreement:** This report is subject to the terms, scope, description and limitations of the inspection agreement that was entered into prior to the inspection being performed. (Note: This agreement may have been entered into by your Solicitor/Conveyancer or other agent). If you are unsure in any way as to how that inspection agreement impacts this inspection and report, please seek clarification prior to committing to the property.

**Changes to the Inspection Agreement:** Unless stated otherwise in the report It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of the pre-Inspection Agreement and the scope of this inspection report.

### **Visual Inspection Only**

This is a visual inspection only limited to those areas and sections of the property fully accessible and visible to the inspector on the date of inspection. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Visible timbers cannot be destructively probed or hit without the written permission of the Builder.

**Please read the entire report.** Refer to the terms & conditions as they form part of the report.

**This inspection references, Australian Standards, items within the Building Code of Australia , The National Construction Code and the NSW Guide to Standards and Tolerances 2017**

### **Regulation Hierarchy**

Regulated building standards are predominantly contained within the National Construction Code Series, Volumes 1 and 2, of the Building Code of Australia (BCA) which is adopted into law by regulation. In hierarchy, the regulatory framework for building standards starts with the relevant Act of Parliament or legislative Assembly, passes to regulations made under that Act, then to the BCA, to Australian Standards and other documents adopted by reference to the BCA.

**The NSW Guide to Standards and Tolerances 2017 is only a guide and an advisory document. It is not a regulated standard and is not part of the hierarchy**

The NSW Guide to Standards and Tolerances can be used to determine whether or not an item is defective only where this cannot be done by reference to the contract documents, the relevant Australian Standards, the BCA or the relevant regulation.

### **Application of the NSW Guide to Standards and Tolerances 2017**

The Guide is intended to inform parties as to what is an acceptable standard of workmanship in home building work.

A full copy of the NSW Guide to Standards and Tolerances can be downloaded at

<https://www.fairtrading.nsw.gov.au/housing-and-property/building-and-renovating/after-you-build-or-renovate/guide-to-standards-and-tolerances>

### **Inspecting Surfaces From A Normal Viewing Position**

Generally, variations in the surface colour, texture and finish of walls, ceilings, floors and roofs, and variations in glass and similar transparent materials are to be viewed where possible from a normal viewing position, defined as looking at a distance of 1.5m or greater (600mm for appliances and fixtures) with the surface of the material being illuminated by 'non-critical light', which is the light that strikes the surface, is diffused and is not glancing or parallel to that surface.

## **NSW Guide to Standards and Tolerances**

**This inspection references, Australian Standards, items within the Building Code of Australia , The National Construction Code and the NSW Guide to Standards and Tolerances 2017**

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Generally, variations in the surface colour, texture and finish of walls, ceilings, floors and roofs, and variations in glass and similar transparent materials are to be viewed where possible from a normal viewing position, defined as looking at a distance of 1.5m or greater (600mm for appliances and fixtures) with the surface of the material being illuminated by 'non-critical light', which is the light that strikes the surface, is diffused and is not glancing or parallel to that surface.

## **Warranties and Defects**

The builder should generally provide the following to the owner or owner's agent at the handover stage.

- Final Certification/Occupation Certificate from Certifier/Council.
- Gas/Plumbing compliance certificate/s
- Electrical/Smoke Alarms compliance certificate/s
- Practical Completion certificate which includes a Defects Document with reference to the Defects Liability and Warranty Period including expiry date.
- Home Warranty Insurance certificate
- Certification and relevant information regarding Termite Management System
- User Manuals for all appliances and installations
- Remote controls for garage



- Keys to the property

## **Defect Rectification**

The Builder prior to Handover or settlement, or as agreed by the owner and builder should rectify any items/defects mentioned in the Handover Report.

If you are required to sign a Practical Completion Certificate, or an authority to release the final payment you should ensure that any defects/items mentioned in the Report are noted 'to be rectified by the builder' on a Defects Document, which should be signed and dated by the builder and the owner, or owners agent. Note: If there are any items that the builder does not agree with, these should also be noted on the defects document. The Practical Completion document should mention the provision of a Statutory Defects Period. The Defects Liability Period generally commences from the date the Practical Completion Certificate is signed. You should confirm the period and expiry date with the builder.

There should be provision in your contract for a final inspection by the owner prior to settlement. A final inspection ensures any defects and/or incomplete work have been satisfactorily completed, and any minor defects and/or incomplete work that may still exist at handover/settlement are noted, prior to final payment. You should check the Building Contract in relation to any Practical Completion/Handover requirements.

## **Defect Liability Period**

As a general rule the building is covered for Structural and other defects for a specific period, we recommend you refer to your building contract to confirm the warranty period and check with your builder regarding the provision of any warranties that may be applicable.

We recommend you contact us to conduct a comprehensive Warranty Defects Report for you to provide to the builder. This needs to be done before the expiration of the warranty period.

## **Warranties under building law**

Builders and tradespeople must honour the implied warranties in the Domestic Building Contracts Act, which require that they:

- Carry out the work in a proper and workmanlike manner, in accordance with the plans and specifications set out in the contract.
- ensure all materials supplied are good and suitable for the purpose and are new, unless otherwise stated in the contract.
- Carry out the work in accordance with all laws and legal requirements
- Carry out the work with reasonable care and skill and complete works by the date (or within the period) specified by the contract.
- Ensure new homes, extensions, renovations, repairs and kit homes (or similar) are suitable for occupation when completed.

- Ensure other types of work and the material used are reasonably fit for the intended purpose.

**Additional Note**

We strongly recommend you arrange insurance on the property from the date of handover, as the builder's insurance will not cover you for any loss or damage after that time.

**Viewing position****Inspection Surfaces From A Normal Viewing Position**

Generally, variations in the surface colour and texture and finish of walls, ceilings, floors and roofs, and variation in glass and similar transparent materials are to be viewed where possible from a normal viewing position, defined as looking at a distance of 1.5m or greater (600mm for appliances and fixtures) with the surface material being illuminated by "non - critical light", which is the light that strikes the surface, being diffused and is not glancing or parallel to that surface.

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## Summary Of Major Defects And Safety Hazards

**Below Is A Summary Of Significant Items Requiring Immediate Action.**

Section	Location	Name	Comment
WATER TANK	Water Tank	Water Tank Findings	The water tank slab does not appear to have been poured in with the house slab. This slab appears to have been installed up against the house slab. Termite management system needs to be installed in this joint. There is a reticulation system around the perimeter but this does not stop termite attack through this slab joint. DO NOT rely on the reticulation treatment of the exterior to protect this slab joint. The same as pipes that penetrate the slab have to be addressed with termite protection collars to stop termite entry in the centre of the slab.
EXTERIOR	Exterior Walls	Brickwork Condition	<p>Missing vertical articulation joints. The National Construction Code clause 3.3.5.15 states that vertical articulation joints must be put in masonry veneer walls in accordance with</p> <ol style="list-style-type: none"> <li>1 in straight continuous walls having no openings, at not more than 6m centres and within 4.5m, but not closer than 470mm of all corners and</li> <li>2. In straight continuous walls with openings more than 900mm x 900mm at not more than 5m centres and located so they are not more than 1.2m away from openings and</li> <li>3. Where the wall height changes by more than 20% at the position of change in height and</li> <li>4. Where a wall thickness changes and</li> <li>5. At control or construction joints in footings or slabs and</li> <li>6. At junctions of walls constructed of different masonry materials</li> </ol>
EXTERIOR	DPC	Damp Proof Course	Damp course to close to ground or paved surface. The National Construction Code section 3.3.5.8 stipulates that damp proof courses need to be 150mm above ground level or 75mm above concreted or paved surfaces that slope away from the building or 50mm above concreted or paved surfaces that are protected by weather (carport or verandah)



## Summary Of Minor Defects

**Below Is A Summary Of Defects Other Than Major Defects.**

Section	Location	Name	Comment
ROOF AND GUTTER	Guttering	Gutter Findings	Building debris in gutter. Requires cleaning.
ROOF AND GUTTER	Guttering	Gutter Findings	The gutter is long in the corner. This will restrict water flow and make hard to clean. Amendment required
ROOF AND GUTTER	Down Pipes	Down Pipe Findings	Touch up downpipes, runs thin paint. Additional painting required.
HOT WATER SYSTEM	Hot Water Unit	Hot Water Unit Findings	Box Painted. Requires touch ups.
EXTERIOR	Weep Holes and Sub Floor Vents	Weephole Findings	Weep holes are blocked or partially blocked by render in areas. Requires cleaning out.
EXTERIOR	Exterior Walls	Brickwork Condition	Brickwork cleaning required. Stains, mortar smears are visible from a normal viewing position which is 1.5m. The NSW Guide To Standards and Tolerances 2017 - section 3.11 "stains, mortar smears and damage caused by cleaning is defective if they are visible from a normal viewing position"
EXTERIOR	Exterior Walls	Brickwork Condition	Inconsistent mortar colour. When viewed from a normal viewing position, which is 1.5m the mortar used in the brickwork was not of a consistent colour.
EXTERIOR	Exterior Walls	Rendered Masonry Condition	Paint touch-ups required to rendered surfaces.
EXTERIOR	Exterior Windows	Overall Condition	Damage to window frame/s.
EXTERIOR	Exterior Windows	Overall Condition	The foot cut of the architraves in some locations has been cut square unlike other locations with an approx 20 degree cut. Rectification required.
EXTERIOR	Exterior Windows	Overall Condition	There are scratches to aluminium frames, noticeable from a normal viewing position which is 1.5m. Amendment required.
GARAGE	Garaging	Overall Condition	A builders clean is required.
GARAGE	Garaging	Internal Door Findings	Paint touch ups required.
GARAGE	Garaging	Internal Door Findings	Weather seals not installed. In Accordance with the National Construction Code 2019 Amendment 1 Energy Efficiency clause 3.12.3.3, seals must be fitted to all external doors and internal doors between the house and the garage, where the internal garagedoor opens into a conditioned area. A draft protection device is to be fitted to the bottom of doors and seals to the remaining edges.

GARAGE	Garaging	Ceiling Findings	Paint touch ups required as indicated by markers
GARAGE	Garaging	Internal Wall Findings	Paint touch ups required
GARAGE	Garaging	Floor Findings	Clean required
GARAGE	Garaging	Floor Findings	Surface damaged throughout the concrete floor, dirt and debris sealed over. We suggest you ask the builder have the top surface ground and re sealed to make an appropriate level of exposed concrete surface finish.
GARAGE	Garaging	Floor Findings	The front edge of the concrete slab it not straight and bowed in several locations along its length. The front edge of the slab has a bow of approx 6mm over a 2m length.
GARAGE	Garaging	Floor Findings	The front of the garage door slab is of poor finish. Assuming the driveway slab is set down approx 15mm-20mm to create a waterproof joint. The poor finish of the slab will be visible. Amendment required.
GARAGE	Garaging	Floor Findings	The front edge of the garage slab has been rendered with a cement based product. This product is not adhered to the face of the slab and is falling off in powder form. Recommend removing entire product and re rendering with an appropriate product.
GARAGE	Garaging	Garage Door	The garage door jamb are not the same length on either side of the garage door. Believing that you will have the driveway slab set 15mm-20mm below the lip of the concrete slab to create a good waterproof joint, the door jamb on the right hand side is short in length. Amendment required
GARAGE	Garaging	Garage Door	The garage door, does not operate smoothly with the automatic opener. The rollers jump and bind. Adjustment required.
BALCONY	Front Balcony Findings	Flooring	Floor cleaning required to front entry area.
BALCONY	Rear Balcony Findings	Flooring	Tile missing to small return on alfresco area. Amendment required
BALCONY	Rear Balcony Findings	Ceiling	Paint touch ups required.
INTERIORS	Doors	Front Entry Doors	Paint touch ups required.
INTERIORS	Doors	Front Entry Doors	Paint on door handle.
INTERIORS	Doors	Front Entry Doors	Door rattles when closed, adjustment required
INTERIORS	Doors	Front Entry Doors	The door detailed edges around the glass have not been sanded and are fuzzy. Requires a loghts sand and another coat of paint.
INTERIORS	Doors	Other Doors	Paint touch ups required.

INTERIORS	Entry/Foyer	Overall Condition	A builders clean is required.
INTERIORS	Entry/Foyer	Walls	Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.
INTERIORS	Entry/Foyer	Flooring	Gaps between skirting and wall noted. NSW Guide to Standards and Tolerances section 11.1 states gaps between mouldings or between mouldings and other fixtures, at mitre or butt joins, or at junctions with walls or other surfaces are defective if they exist at handover and are visible from a normal viewing position.
INTERIORS	Office/Study	Overall Condition	A builders clean is required.
INTERIORS	Office/Study	Door	Paint touch ups required as indicated by markers
INTERIORS	Office/Study	Door	The door face router detail has not been sanded between coats. This detail is furry in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.
INTERIORS	Office/Study	Ceiling	Patch and paint required.
INTERIORS	Office/Study	Walls	Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.
INTERIORS	Office/Study	Windows	Paint / stain on windows.
INTERIORS	Office/Study	Flooring	Paint, glue or grout on flooring. Requires cleaning.
INTERIORS	Combined Dining and Lounge Room	Overall Condition	A builders clean is required.
INTERIORS	Combined Dining and Lounge Room	Walls	Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.
INTERIORS	Combined Dining and Lounge Room	Windows	Paint touch ups required.
INTERIORS	Combined Dining and Lounge Room	Flooring	Paint, glue or grout on flooring. Requires cleaning.
INTERIORS	Media Room	Overall Condition	A builders clean is required.
INTERIORS	Media Room	Door	Paint touch ups required as indicated by markers
INTERIORS	Media Room	Walls	Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.
INTERIORS	Media Room	Flooring	Incomplete installation of carpeting.
INTERIORS	Childrens Play Area	Overall Condition	A builders clean is required.

INTERIORS	Childrens Play Area	Ceiling	The remote is uninstalled for the velux window.
INTERIORS	Childrens Play Area	Walls	Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.
INTERIORS	Hallway/s	Overall Condition	A builders clean is required.
INTERIORS	Hallway/s	Walls	Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.
INTERIORS	Hallway/s	Flooring	The skirting is bowed in the hallway approx 8mm over 1.8m. Rectification required.
INTERIORS	Bedroom 1	Overall Condition	A builders clean is required.
INTERIORS	Bedroom 1	Door	Paint touch ups required as indicated by markers
INTERIORS	Bedroom 1	Door	The door face router detail has not been sanded between coats. This detail is furry in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.
INTERIORS	Bedroom 1	Ceiling	Paint touch ups required.
INTERIORS	Bedroom 1	Walls	Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.
INTERIORS	Bedroom 1	Walls	The paint cover to areas of this room are thin and see through in areas. Re painting of entire wall required in some areas.
INTERIORS	Bedroom 1	Windows	Paint touch ups required.
INTERIORS	Bedroom 2	Overall Condition	A builders clean is required.
INTERIORS	Bedroom 2	Door	Paint touch ups required as indicated by markers
INTERIORS	Bedroom 2	Door	The door face router detail has not been sanded between coats. This detail is furry in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.
INTERIORS	Bedroom 3	Overall Condition	A builders clean is required.
INTERIORS	Bedroom 3	Door	Paint touch ups required as indicated by markers
INTERIORS	Bedroom 3	Door	The door face router detail has not been sanded between coats. This detail is furry in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.
INTERIORS	Bedroom 3	Walls	Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.

INTERIORS	Bedroom 4	Overall Condition	A builders clean is required.
INTERIORS	Bedroom 4	Door	Paint touch ups required as indicated by markers
INTERIORS	Bedroom 4	Door	Door rattles, stricter requires adjustment
INTERIORS	Bedroom 4	Walls	Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.
INTERIORS	Bedroom 4	Windows	Stickers / marks on glass
INTERIORS	Bedroom 5	Overall Condition	A builders clean is required.
INTERIORS	Bedroom 5	Door	Paint touch ups required as indicated by markers
INTERIORS	Bedroom 5	Door	The door face router detail has not been sanded between coats. This detail is furry in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.
INTERIORS	Bedroom 5	Walls	Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.
INTERIORS	Bedroom 5	Walls	Bowed square set. Bowed approx 6mm over 2m. Rectification required.
BATHROOM(S)	Powder Room	Overall Condition	Clean required.
BATHROOM(S)	Powder Room	Door	Paint touch ups required.
BATHROOM(S)	Powder Room	Door	The door face router detail has not been sanded between coats. This detail is furry in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.
BATHROOM(S)	Powder Room	Sink	The vanity has unsealed exposed craftwood. This will absorb moisture in the bathroom area and prematurely degrade. Amendment required.
BATHROOM(S)	Bath Room 1	Overall Condition	Cleaning required.
BATHROOM(S)	Bath Room 1	Door	Paint touch ups required.
BATHROOM(S)	Bath Room 1	Door	The door face router detail has not been sanded between coats. This detail is furry in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.
BATHROOM(S)	Bath Room 1	Ceiling	Paint touch ups required.
BATHROOM(S)	Bath Room 1	Window	Paint touch ups required.
BATHROOM(S)	Bath Room 1	Flooring	Grout haze noted. Cleaning required
BATHROOM(S)	Bath Room 1	Sink	The vanity has unsealed exposed craftwood. This will absorb moisture in the bathroom area and prematurely degrade. Amendment required.

BATHROOM(S)	Bath Room 2	Overall Condition	Cleaning required.
BATHROOM(S)	Bath Room 2	Door	Paint touch ups required.
BATHROOM(S)	Bath Room 2	Door	The door face router detail has not been sanded between coats. This detail is furry in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.
BATHROOM(S)	Bath Room 2	Ceiling	Paint touch ups required.
BATHROOM(S)	Bath Room 2	Sink	The vanity has unsealed exposed craftwood. This will absorb moisture in the bathroom area and prematurely degrade. Amendment required.
BATHROOM(S)	Bath Room 2	Shower And Bath	Shower head is leaking.
BATHROOM(S)	Bath Room 2	Shower And Bath	Bath spout loose.
KITCHEN AND LAUNDRY	Kitchen	Overall Condition	Clean required.
KITCHEN AND LAUNDRY	Kitchen	Walls	Paint touch ups required.
KITCHEN AND LAUNDRY	Kitchen	Sink & Joinery	Chips/Damage/Dents was noted to the cabinets from a normal viewing position which is 600mm. Rectification required.
KITCHEN AND LAUNDRY	Kitchen	Sink & Joinery	Cabinet doors/drawers require adjusting for consistent gaps. NSW Guide for Standards and Tolerances 2017 -section 11.4 "cabinet door and draw fronts are defective if they are not aligned, or do not have consistent gaps between them at handover"
KITCHEN AND LAUNDRY	Kitchen	Appliances	The microwave has been poorly installed. The microwave should be centred with the door below. Amendment required.
KITCHEN AND LAUNDRY	Kitchen	Appliances	The oven is not installed correctly. It is out of parallel with the joinery. Amendment required.
KITCHEN AND LAUNDRY	Laundry	Overall Condition	Clean required.
KITCHEN AND LAUNDRY	Laundry	Door	Paint touch ups required.
KITCHEN AND LAUNDRY	Laundry	Walls	Paint touch ups required.
ROOF VOID	Insulation	Condition	Sections of the insulation were poorly installed / laid with gaps visible in sections. The insulation industry indicates that gaps of 5% in insulation equals approximately 50% insulation loss.



## ROOF AND GUTTER

### Roof Covering

#### Roof Covering Type

Metal roof cladding/sheeting.

#### Tile Roof Condition

Of the visible areas inspected the roof appears to be acceptable.

NOTE: This is not a guarantee that the roof will not leak, recommend monitoring after each rainfall event for the first year of service.





## Guttering

### **Gutter Findings**

Building debris in gutter. Requires cleaning.

The gutter is long in the corner. This will restrict water flow and make hard to clean. Amendment required









## **Down Pipes**

### **Down Pipe Findings**

Touch up downpipes, runs thin paint. Additional painting required.











## HOT WATER SYSTEM

### Hot Water Unit

#### Hot Water Unit Findings

Box Painted. Requires touch ups.





## WATER TANK

### Water Tank

#### Water Tank Findings

The water tank slab does not appear to have been poured in with the house slab. This slab appears to have been installed up against the house slab. Termite management system needs to be installed in this joint. There is a reticulation system around the perimeter but this does not stop termite attack through this slab joint. DO NOT rely on the reticulation treatment of the exterior to protect this slab joint. The same as pipes that penetrate the slab have to be addressed with termite protection collars to stop termite entry in the centre of the slab.



## EXTERIOR

### Weep Holes and Sub Floor Vents

#### **Weephole Findings**

Weep holes are blocked or partially blocked by render in areas. Requires cleaning out.







## **Exterior Walls**

### **Brickwork Condition**

Brickwork cleaning required. Stains, mortar smears are visible from a normal viewing position which is 1.5m. The NSW Guide To Standards and Tolerances 2017 - section 3.11 "stains, mortar smears and damage caused by cleaning is defective if they are visible from a normal viewing position"

Inconsistent mortar colour. When viewed from a normal viewing position, which is 1.5m the mortar used in the brickwork was not of a consistent colour.

Missing vertical articulation joints. The National Construction Code clause 3.3.5.15 states that vertical articulation joints must be put in masonry veneer walls in accordance with

1 in straight continuous walls having no openings, at not more than 6m centres and within 4.5m, but not closer than 470mm of all corners and

2. In straight continuous walls with openings more than 900mm x 900mm at not more than 5m centres and located so they are not more than 1.2m away from openings and

3. Where the wall height changes by more than 20% at the position of change in height and

4. Where a wall thickness changes and

5. At control or construction joints in footings or slabs and

6. At junctions of walls constructed of different masonry materials



































## Weatherboard Condition

Paint touch-ups required.















**Rendered Masonry Condition**

Paint touch-ups required to rendered surfaces.



















## Exterior Windows

### **Overall Condition**

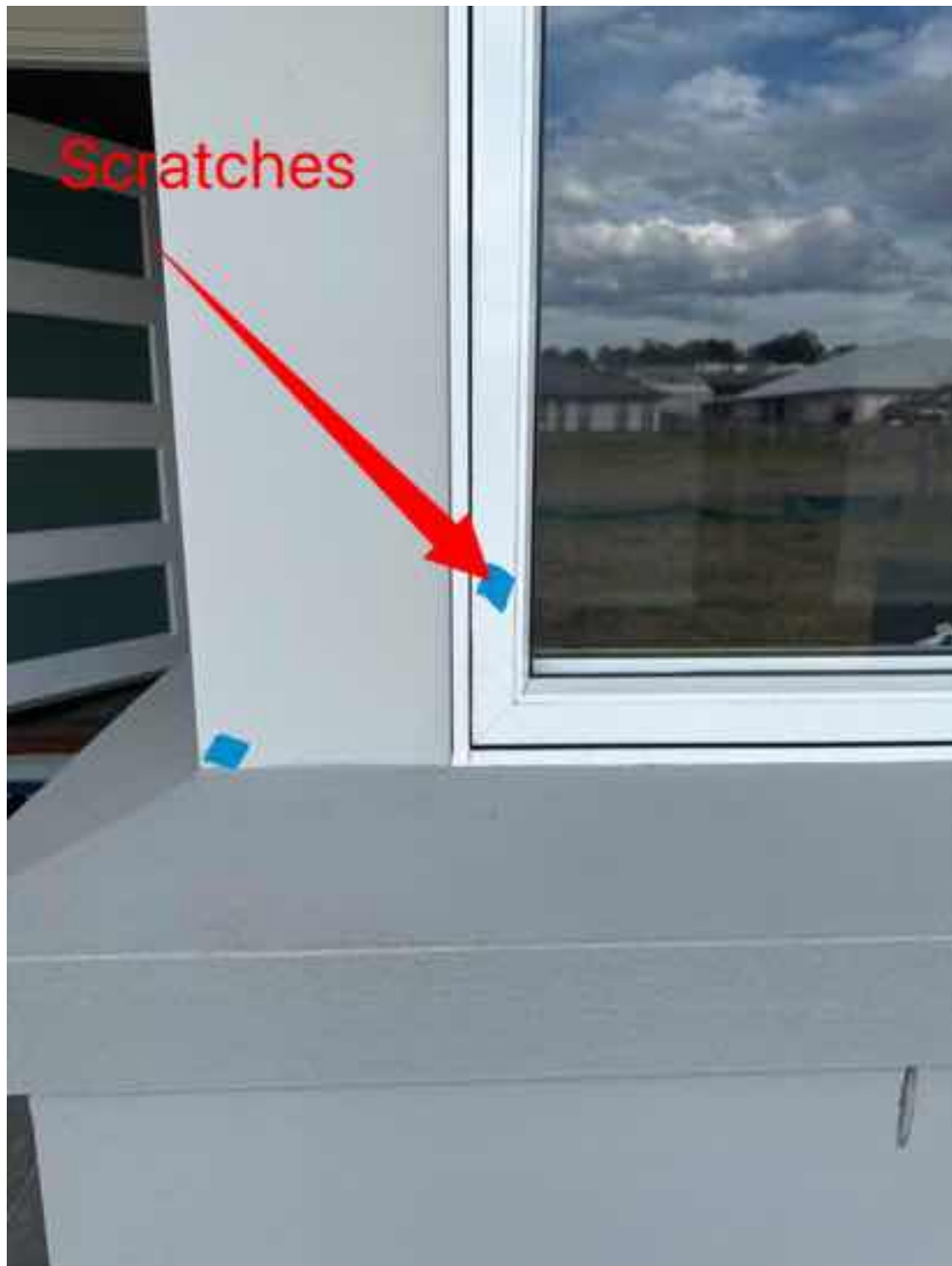
Damage to window frame/s.

The foot cut of the architraves in some locations has been cut square unlike other locations with an approx 20 degree cut. Rectification required.

There are scratches to aluminium frames, noticeable from a normal viewing position which is 1.5m. Amendment required.













## DPC

### Damp Proof Course

Damp course to close to ground or paved surface. The National Construction Code section 3.3.5.8 stipulates that damp proof courses need to be 150mm above ground level or 75mm above concreted or paved surfaces that slope away from the building or 50mm above concreted or paved surfaces that are protected by weather (carport or verandah)



## GARAGE

### Garaging

#### Overall Condition

Rectification work required  
A builders clean is required.





## Internal Door Findings

Paint touch ups required.

Weather seals not installed. In Accordance with the National Construction Code 2019 Amendment 1 Energy Efficiency clause 3.12.3.3, seals must be fitted to all external doors and internal doors between the house and the garage, where the internal garagedoor opens into a conditioned area. A draft protection device is to be fitted to the bottom of doors and seals to the remaining edges.







## Ceiling Findings

Paint touch ups required as indicated by markers



## Internal Wall Findings

Paint touch ups required













## Floor Findings

Clean required

Surface damaged throughout the concrete floor, dirt and debris sealed over. We suggest you ask the builder have the top surface ground and re sealed to make an appropriate level of exposed concrete surface finish. The front edge of the concrete slab it not straight and bowed in several locations along its length. The front edge of the slab has a bow of approx 6mm over a 2m length.

The front of the garage door slab is of poor finish. Assuming the driveway slab is set down approx 15mm-20mm to create a waterproof joint. The poor finish of the slab will be visible. Amendment required.

The front edge of the garage slab has been rendered with a cement based product. This product is not adhered to the face of the slab and is falling off in powder form. Recommend removing entire product and re rendering with an appropriate product.

The garage front edge of the concrete slab is not parallel with the garage door or door jamb. The concrete slab protruded forward of the garage door by approx 30mm on the left hand side and 55mm on the right hand side. Amendment required



























## Garage Door

The garage door jamb are not the same length on either side of the garage door. Believing that you will have the driveway slab set 15mm-20mm below the lip of the concrete slab to create a good waterproof joint, the door jamb on the right hand side is short in length. Amendment required

The garage door, does not operate smoothly with the automatic opener. The rollers jump and bind. Adjustment required.











## BALCONY

### Front Balcony Findings

#### Flooring

Floor cleaning required to front entry area.









## **Rear Balcony Findings**

### **Flooring**

Tile missing to small return on alfresco area. Amendment required





## Ceiling

Paint touch ups required.





## INTERIORS

### Smoke Alarm

#### **Was a Smoke Alarm Fitted**

Yes 4 smoke alarms were sighted but not tested.

Legislation requires smoke Alarms to be installed. The National Construction Code, clause 9.5.3 states that a smoke detector must be located in any storey containing bedrooms, every corridor or hallway associated with a bedroom, or if there is no hallway, in an area between the bedrooms and the remainder of the house, and each other story not containing bedrooms.











## Doors

### **Front Entry Doors**

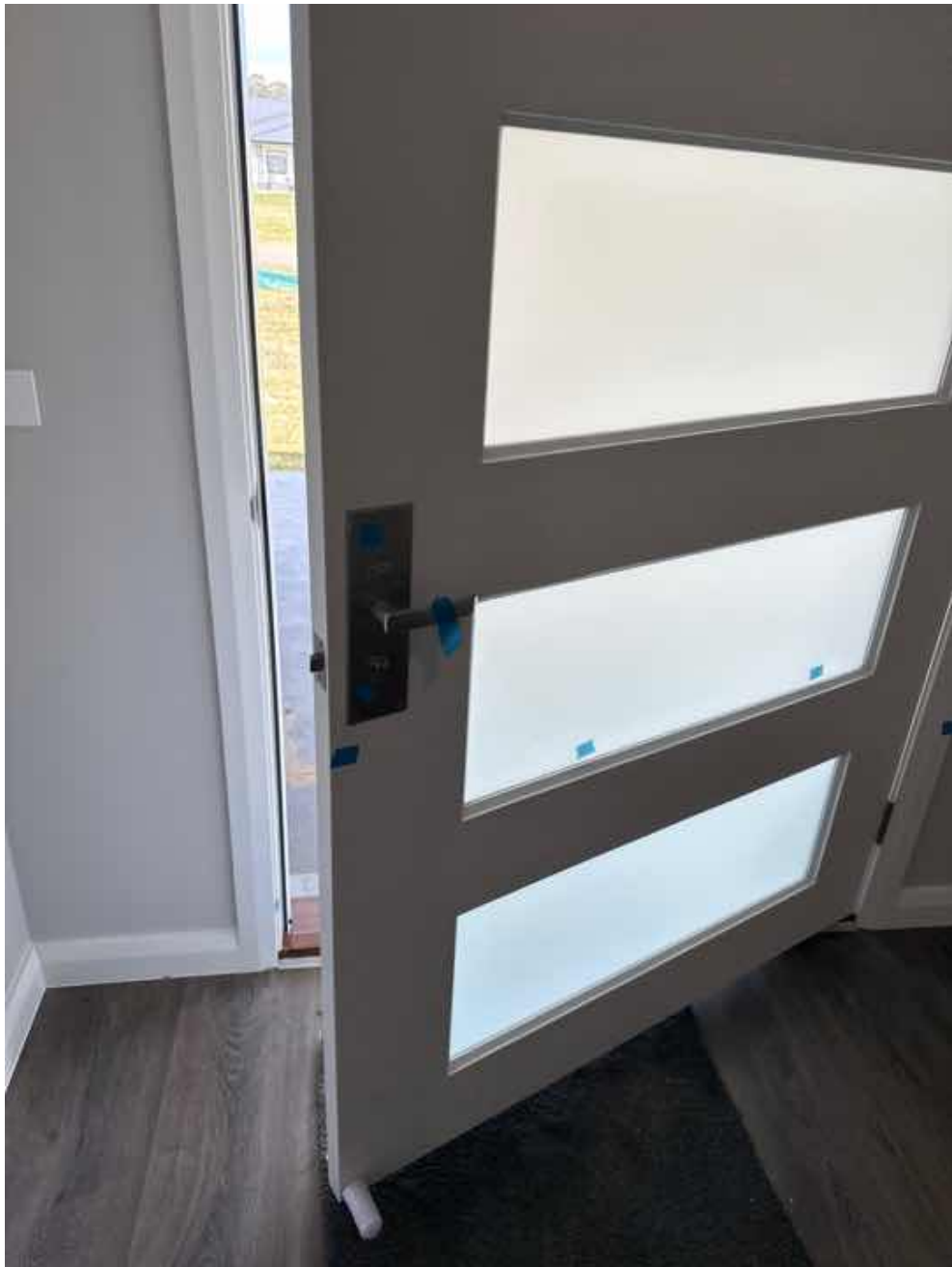
Paint touch ups required.

Paint on door handle.

Door rattles when closed, adjustment required

The door detailed edges around the glass have not been sanded and are fuzzy. Requires a loghts sand and another coat of paint.









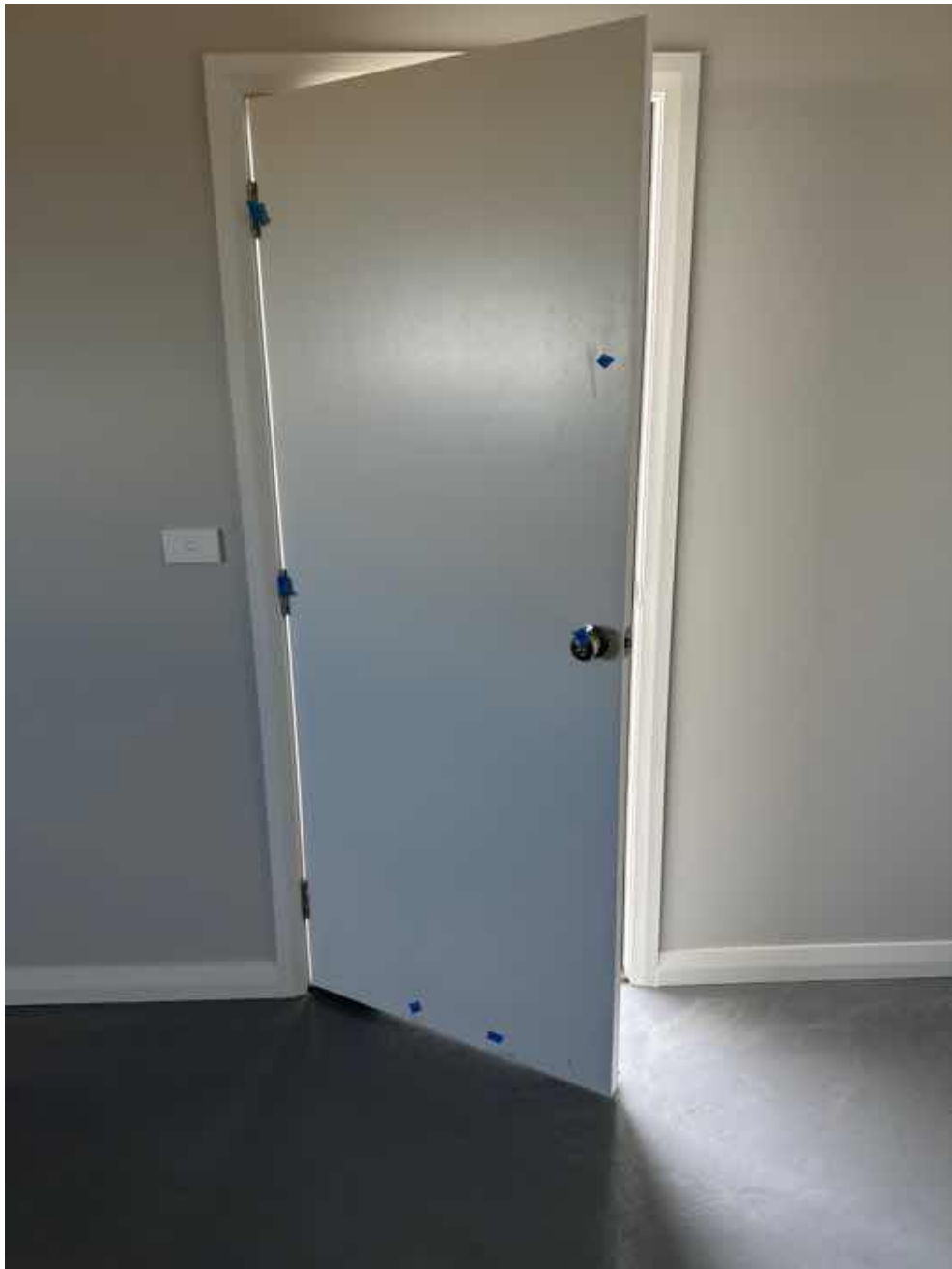




**Other Doors**

Paint on screen door handle  
Paint on screen door hinges  
Paint touch ups required.











## **Entry/Foyer**

### **Overall Condition**

Rectification work required

A builders clean is required.



**Walls**

Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.







## Flooring

Gaps between skirting and wall noted. NSW Guide to Standards and Tolerances section 11.1 states gaps between mouldings or between mouldings and other fixtures, at mitre or butt joins, or at junctions with walls or other surfaces are defective if they exist at handover and are visible from a normal viewing position.





## **Office/Study**

### **Overall Condition**

Rectification work required

A builders clean is required.





## Door

Paint touch ups required as indicated by markers

The door face router detail has not been sanded between coats. This detail is fuzzy in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.









**Ceiling**

Patch and paint required.





**Walls**

Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.











## Windows

Paint / stain on windows.



**Flooring**

Paint, glue or grout on flooring. Requires cleaning.



## **Combined Dining and Lounge Room**

### **Overall Condition**

Rectification work required

A builders clean is required.





## Walls

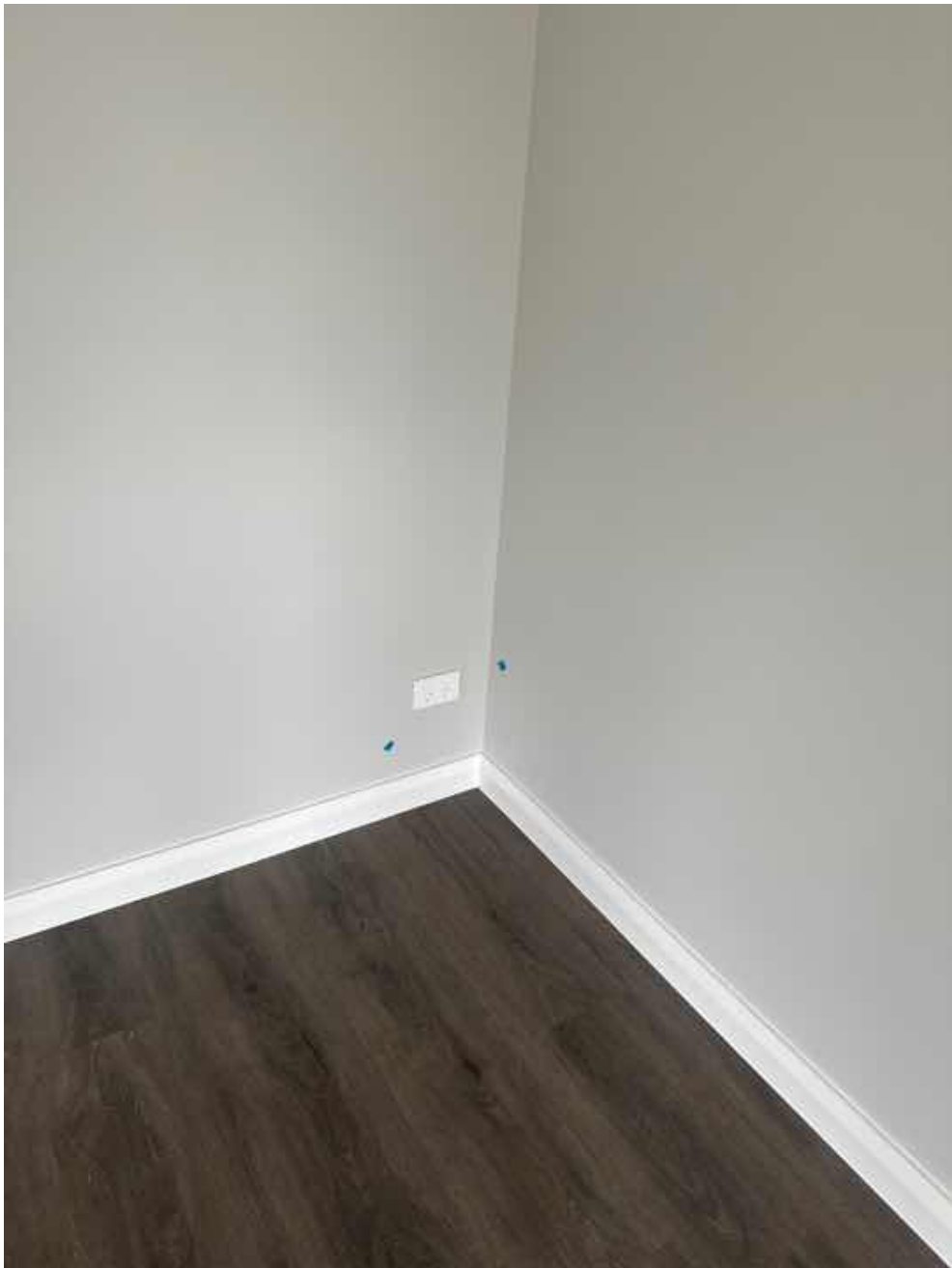
Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.













## Windows

Paint touch ups required.



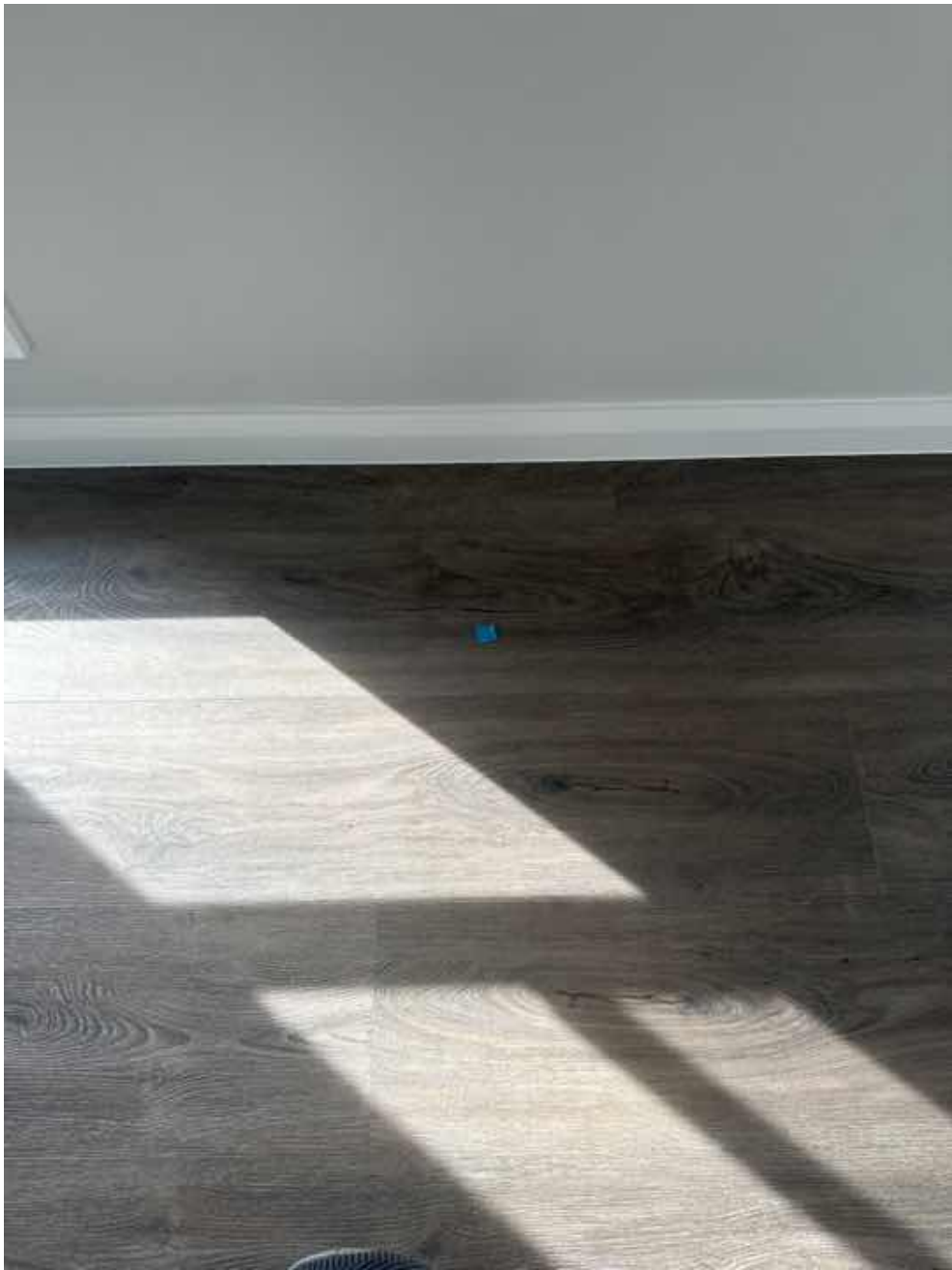


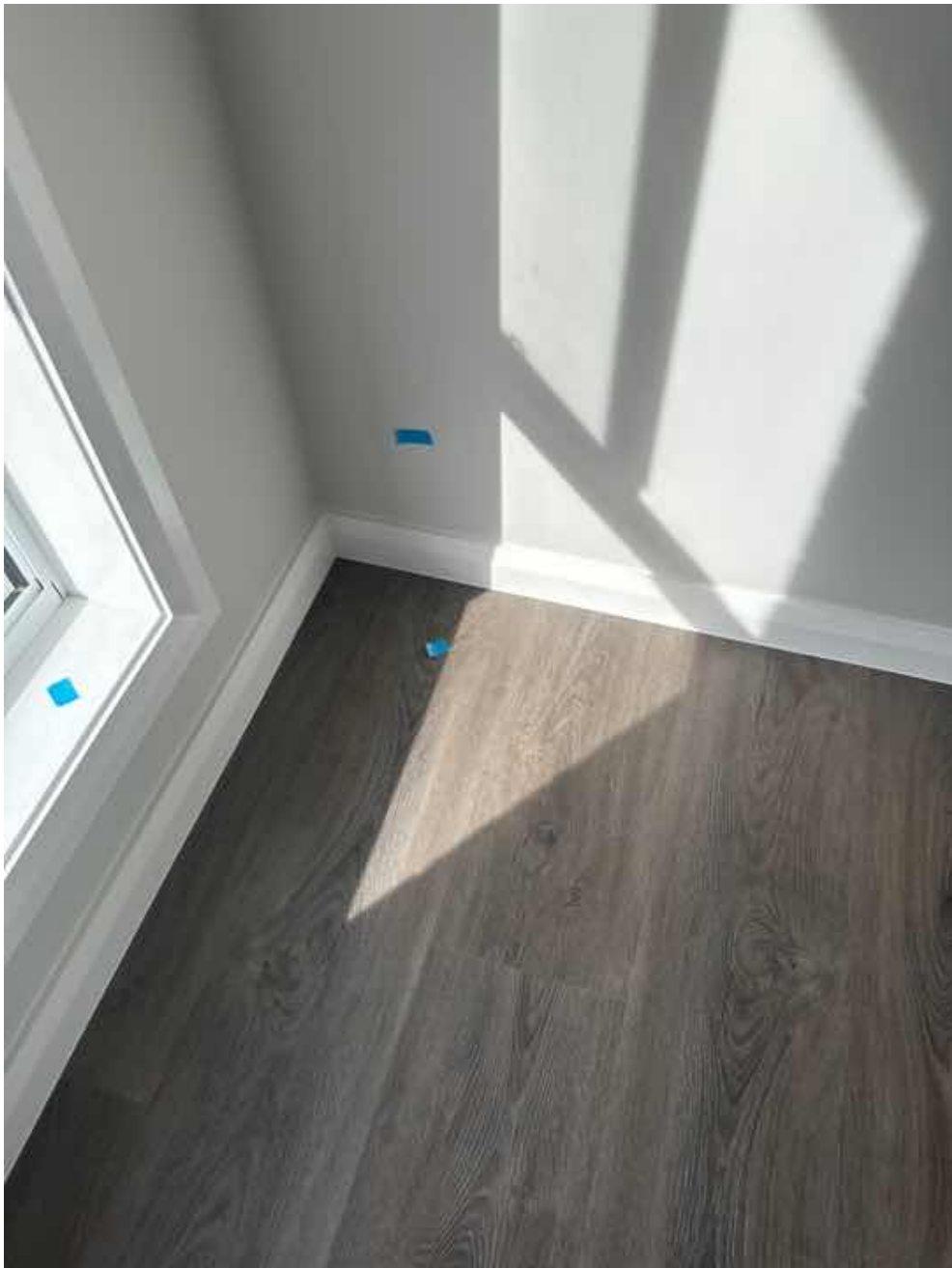


**Flooring**

Paint, glue or grout on flooring. Requires cleaning.







## **Media Room**

### **Overall Condition**

Rectification work required

A builders clean is required.



**Door**

Paint touch ups required as indicated by markers









**Walls**

Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.







**Flooring**

Incomplete installation of carpeting.



## **Childrens Play Area**

### **Overall Condition**

Rectification work required

A builders clean is required.





**Ceiling**

The remote is uninstalled for the velux window.

**Walls**

Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.







## Hallway/s

### **Overall Condition**

Rectification work required

A builders clean is required.







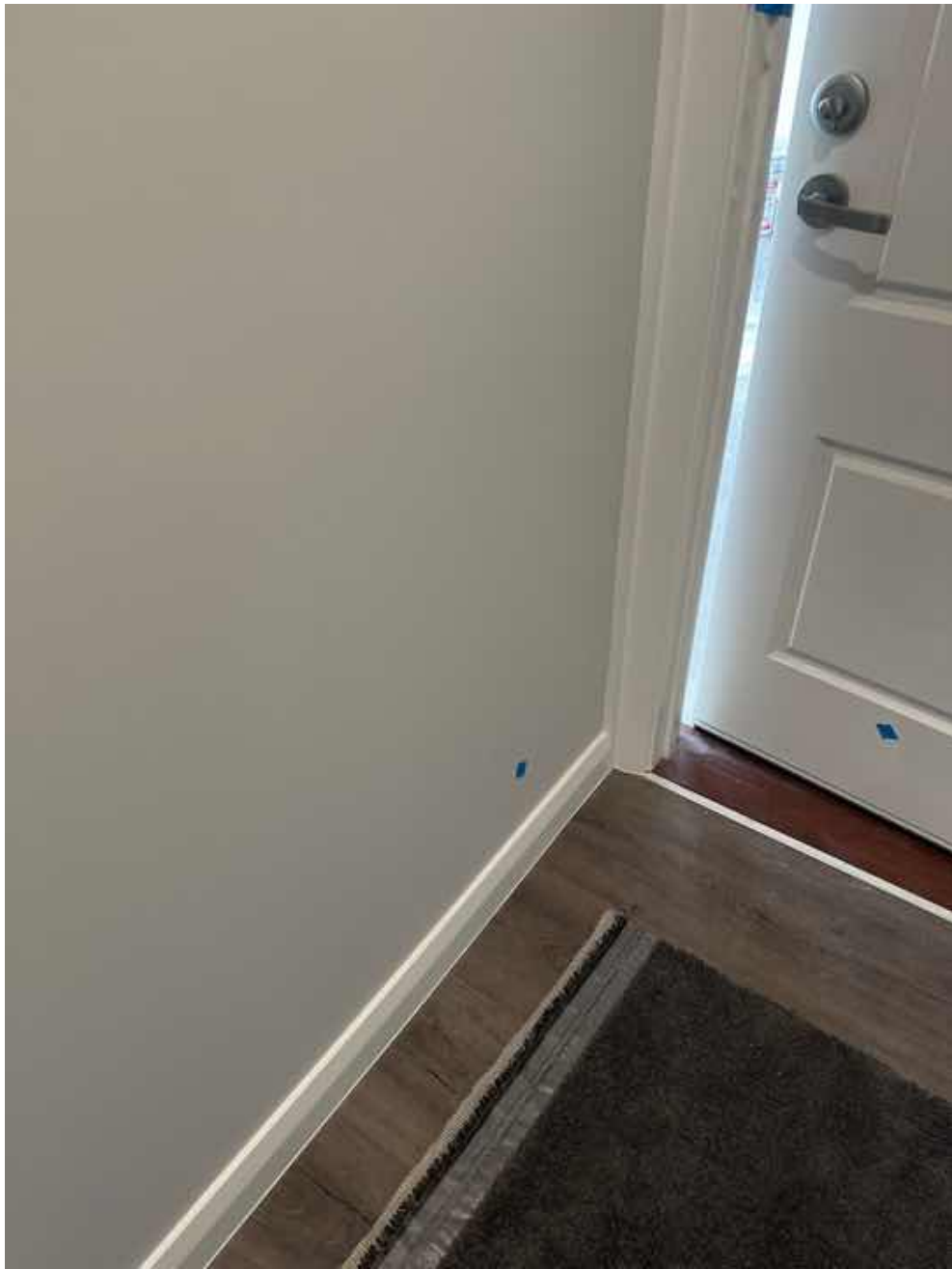


## Walls

Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.





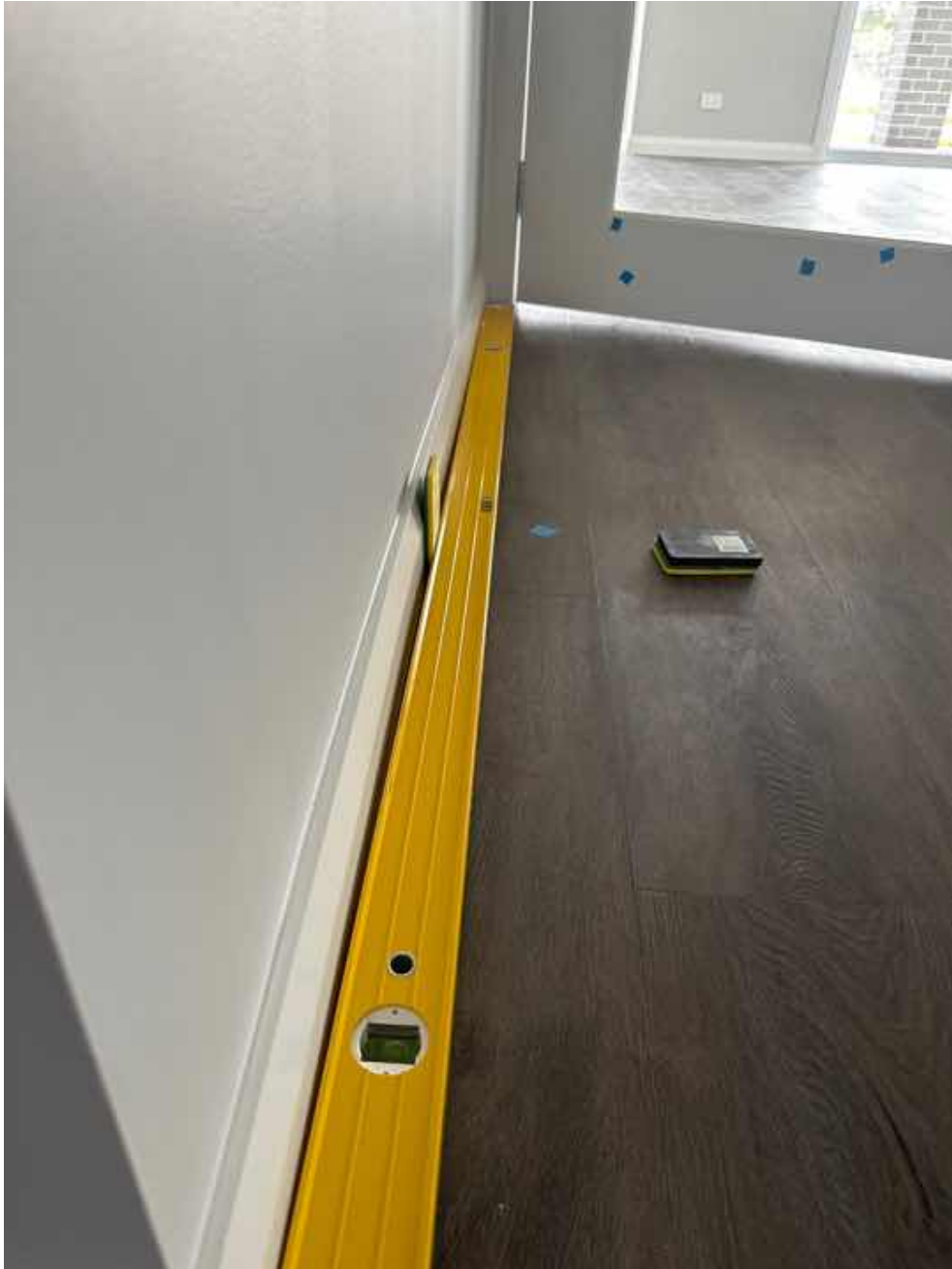






## Flooring

The skirting is bowed in the hallway approx 8mm over 1.8m. Rectification required.









## **Bedroom 1**

### **Overall Condition**

Rectification work required

A builders clean is required.





## Door

Paint touch ups required as indicated by markers

The door face router detail has not been sanded between coats. This detail is fuzzy in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.







**Ceiling**

Paint touch ups required.



## Walls

Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.

The paint cover to areas of this room are thin and see through in areas. Re painting of entire wall required in some areas.



























## Windows

Paint touch ups required.

There are scratches on the glass, require glass replacement or glass polishing.





## **Bedroom 2**

### **Overall Condition**

Rectification work required

A builders clean is required.





## Door

Paint touch ups required as indicated by markers

The door face router detail has not been sanded between coats. This detail is fuzzy in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.







### **Bedroom 3**

#### **Overall Condition**

Rectification work required

A builders clean is required.





## Door

Paint touch ups required as indicated by markers

The door face router detail has not been sanded between coats. This detail is fuzzy in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.



**Walls**

Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.









## **Bedroom 4**

### **Overall Condition**

Rectification work required

A builders clean is required.



**Door**

Paint touch ups required as indicated by markers  
Door rattles, stricter requires adjustment





**Walls**

Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.









## Windows

Stickers / marks on glass





## **Bedroom 5**

### **Overall Condition**

Rectification work required

A builders clean is required.





## Door

Paint touch ups required as indicated by markers

The door face router detail has not been sanded between coats. This detail is fuzzy in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.



## Walls

Paint touch ups required. Defects noticeable from normal viewing position. Additional plastering, sanding and painting required.

Bowed square set. Bowed approx 6mm over 2m. Rectification required.













## BATHROOM(S)

### Powder Room

#### Location

Hallway.

#### Overall Condition

Rectification work required.

Clean required.

#### Door

Paint touch ups required.

The door face router detail has not been sanded between coats. This detail is fuzzy in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.







## Sink

The vanity has unsealed exposed craftwood. This will absorb moisture in the bathroom area and prematurely degrade. Amendment required.



## **Bath Room 1**

### **Location**

The location of this bathroom is off bedroom 1.





**Overall Condition**

Rectification work required.  
Cleaning required.

**Door**

Paint touch ups required.

The door face router detail has not been sanded between coats. This detail is furry in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.













**Ceiling**

Paint touch ups required.





**Window**

Paint touch ups required.







**Flooring**

Grout haze noted. Cleaning required



**Sink**

The vanity has unsealed exposed craftwood. This will absorb moisture in the bathroom area and prematurely degrade. Amendment required.



## **Bath Room 2**

### **Location**

Hallway.



**Overall Condition**

Rectification work required.

Cleaning required.

**Door**

Paint touch ups required.

The door face router detail has not been sanded between coats. This detail is fuzzy in appearance from a normal viewing position of 1.5m and is rough to touch. Requires a light sand and re painting.





**Ceiling**

Paint touch ups required.



## Sink

The vanity has unsealed exposed craftwood. This will absorb moisture in the bathroom area and prematurely degrade. Amendment required.





**Shower And Bath**

Shower head is leaking.

Bath spout loose.





## KITCHEN AND LAUNDRY

### Kitchen

#### Overall Condition

Rectification work required.

Clean required.

Incomplete work. Work required for completion





**Walls**

Paint touch ups required.













## Sink & Joinery

Chips/Damage/Dents was noted to the cabinets from a normal viewing position which is 600mm. Rectification required.

Cabinet doors/drawers require adjusting for consistent gaps. NSW Guide for Standards and Tolerances 2017 -section 11.4 "cabinet door and draw fronts are defective if they are not aligned, or do not have consistent gaps between them at handover"



















## Appliances

The microwave has been poorly installed. The microwave should be centred with the door below. Amendment required.

The oven is not installed correctly. It is out of parallel with the joinery. Amendment required.





## Laundry

### Overall Condition

Rectification work required.

Clean required.



**Door**

Paint touch ups required.







**Walls**

Paint touch ups required.







## ROOF VOID

### Roof Void Findings

#### **Restricted Areas**

There is heating and/or cooling ducting present in the roof space/void.

There is insulation present in the roof space/void. This is preventing a full inspection of ceiling joists from being undertaken.

There is low clearance in areas throughout the roof void which is preventing a full/thorough visual inspection taking place.











**Roof Frame Type**

The roof frame is a truss timber frame.

**Overall Condition**

Visible sections of the roof void is in a serviceable condition for age of this dwelling.

**Insulation****Type**

The roof space is insulated with fibreglass batts.

**Condition**

Sections of the insulation were poorly installed / laid with gaps visible in sections. The insulation industry indicates that gaps of 5% in insulation equals approximately 50% insulation loss.















































**Sarking**

The sarking generally is in a serviceable condition.



## TERMS AND CONDITIONS

### General Definitions used in this Report:

Definitions specific to Building Inspections and Reports for new buildings. You should read and understand the following definitions of words used in the Inspection Agreement and the Report.

**Acceptable:** The building material or component is in reasonable or serviceable condition for the age of the dwelling.

**Rectification work required:** A defect or a number of defects were visible that will require assessment and or repair by a qualified trades person.

**Monitor:** Some defects may require monitoring to ascertain if the defect will worsen, reappear or cause further problems.

**Strata:** In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected report.

**Significant Item:** An item that must be reported in accordance with the scope of the inspection.

**Major Defect:** A defect of sufficient magnitude requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

**Minor Defect:** Any defect other than what is described as a Significant Item or major defect.

**Safety Hazard:** A defect that presents unsafe conditions and must be reported as a Major defect.

**Accessible Area:** Is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

**Building Element:** A portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function.

**Client:** The person(s) or other legal entity for which the inspection is to be carried out. If ordered by an agent then it is agreed that the agent has the authority to act for and on behalf of the person.

**You/Your/The Purchaser/Client:** The party identified on the face page of this report as the Client, and where more than one party all such parties jointly and severally, together with any agent of that party.

**Defect:** A fault or deviation from the intended condition of the material, assembly or component.

**Handover:** The moment the builder hands over the keys and the owner officially takes possession of the property.

**Firm:** The business company, partnership, trust or individual named on the report, its agents, or employees that you have requested to carry out the property inspection and Report.

**Inspector:** The person or organization responsible for carrying out the inspection. (See also "Our/Us/We" below.)

**Limitation:** Any factor that prevents full completion of the purpose of the inspection.

**Manhole (cover) or Access hole:** An opening in the structure to allow for safe entry to carry out an inspection.

**Practical Completion:** The stage of construction when contract works are considered completed and the building is considered reasonably fit for habitation. There may be some minor defects and incomplete work outstanding.

**Property:** The structure to be inspected and the site upon which it stands to within 30 metres of the dwelling.

**Report:** A document and any attachments containing advice about the condition of the Property and issued to you by us following our inspection of the Property.

**Visual Inspection:** The inspection shall comprise visual assessment of accessible areas of the Property to identify major visible defects to the building structure and to form an opinion regarding the general condition of the structure of the property. Note: If cracking to masonry building elements is noted in the Report a Structural Engineer must be consulted.

Safe and Reasonable Access - is interpreted to mean areas that are safe and unobstructed. Does not include the use of destructive or invasive inspection methods or moving of building materials, stored goods, furniture, vehicles etc.

**AS 4349.1-2007 defines the extent of safe and reasonable access as follows:**

"The extent of accessible areas shall be determined by the Inspector at the time of inspection, based on the conditions encountered at the time of the inspection. The Inspector shall also determine whether sufficient space is available to allow safe access.

The inspection shall include only accessible areas and areas that are within the Inspectors line of sight and close enough to enable reasonable appraisal."

Areas for Inspection shall cover all safe and accessible areas the Property.

Access Table 3.2 from AS 4349.1-2007

**Table Notes:**

1. Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers.
2. Sub floor or slab areas sprayed with chemicals will not be inspected unless it is considered safe to do so. Our/Us/We/The

**General and Important Information:**

Important Information Regarding the Scope and Limitations of the Inspection and this Report. Any person who relies upon the contents of this report does so acknowledging that the clauses, which define the Scope and Limitations of the inspection, and forms an integral part of inspection agreement and the inspection and the Report.

**General Requirements:-** Inspection of residential buildings under construction or completed residential building inspections i.e. Practical Completion Inspection (PCI); Building Stage Report; Handover Inspection Report; Warranty Report; Building Defects Report. Standards & Tolerances applies; Standard AS4349.0-2007 Inspection of buildings Part 0: General requirements applies.

**Scope and Limitations: - Residential Buildings Under Construction and Completed Building Inspections:**

The inspection is based on a visual assessment of the property to identify any major defects, the incidence of minor defects, and safety hazards associated with the property, and to form an opinion regarding the general condition of the property at the time of inspection, for the relevant inspection as ordered by The Client and agreed in the Inspection Agreement. The inspection and reporting will include any accessible parts of the property, according to the type of inspection being inspected.

The inspection will be carried out in accordance with AS4349.0-2007. Exclusion of Items from Inspection is in accordance with Appendix D of AS4349.1-2007. The report is a reasonable attempt to assess the quality of the work and to identify any obvious or significant defects apparent at the time of the inspection. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. If Cracking of Building Elements is noted in the Report or you require any advice of a structural nature you will consult the builder, and a Structural Engineer as necessary. Refer to Appendix E of AS4349.1-2007. (CRACKING OF BUILDING ELEMENTS)

The Client is responsible for the signing of any documents relating to the construction or handover of the property. The Client shall obtain any relevant notices and certificates relating to the subject building from the builder or certifier for the completion of the property, as required by relevant building legislation.

**Limitations:** The Inspection is a non-invasive visual inspection, which is limited to those accessible areas and sections of the property to which Safe, and Reasonable Access is both available and permitted on the date and time of the inspection. Areas where reasonable entry is denied to the inspector, or where safe and reasonable access is not available, are excluded from and do not form part of the inspection. These may include; any sections/areas of the building that were obstructed at time of inspection by; contractors, goods, materials, vehicles etc. in, on or against section/areas of the building belonging to the builder, contractors, owner, and/or other parties. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions.

The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed.

**Purpose:** The purpose of the inspection is to provide advice to the Client or owner of a residential dwelling that is under construction, or a recently completed residential dwelling, regarding the condition of the property at the time of inspection. The visual inspection will identify significant building defects, minor defects, incomplete work, omissions, safety hazards and/or maintenance issues, so that the Client may provide a written report of a defect list to the builder or relevant person/s, so as to enable them therewith to negotiate the rectification of any such defects etc. The inspection shall include specific requirements or conditions requested by the client, and agreed upon, in the Inspection Agreement. The Report is for the Clients purpose only.

**Exclusions:** The Report will not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. The Report will not include the inspection and assessment of items or matters that do not fall within the Building Consultant or Inspectors direct expertise. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. The Client acknowledges that this Report excludes and specifically does not cover or deal with inspection of specific items, mentioned in the Inspection Agreement. Exclusion of Items from Inspection is in accordance with Appendix D of AS4349.1-2007. If Cracking of Building Elements is noted in the Report the Client will consult a Structural Engineer. Refer to Appendix E of AS4349.1-2007. Estimating the cost of rectification of defects is not included in a standard property report.

**Exclusive Use:** The Report may not be provided to any other Person without Our express written permission, unless The Client is authorized to do so by relevant Legislation. Any such permission may be subject to conditions and further payment. The Report will be made solely for the use and benefit of The Client. Only The Client may rely on the Report.

**NOT A PEST REPORT:** This inspection and report will not inspect, seek or attempt to identify timber pest activity or damage. We strongly recommend you obtain a timber pest inspection conducted by a licensed and suitably qualified pest inspector.

**Contact the inspector:** Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector to discuss and have this report and its content explained to you.

**The Inspection and Report was carried out by: Jeffrey Manwaring**

**Contact the Inspector on: 610414271275**

**For and on Behalf of: Uncover Building and Pest Inspections**

